

STATE OF HAWAII
DEPARTMENT OF HUMAN SERVICES
HAWAII PUBLIC HOUSING AUTHORITY
1002 NORTH SCHOOL STREET
P.O. BOX 17907
Honolulu, Hawaii 96817

BARBARA E. ARASHIRO
EXECUTIVE ASSISTANT

ADDENDUM NO. 2

TO THE
PLANS AND SPECIFICATIONS
FOR
FURNISHING LABOR AND MATERIALS
REQUIRED FOR

**HALE PO'AI
BUILDING IMPROVEMENTS**

HA-2401

1001 NORTH SCHOOL STREET
HONOLULU, OAHU, HAWAII

TAX MAP KEY: 1-6-07: 67

HPHA JOB NO. 07-031-401-S

IFB-CMS-2009-36

March 25, 2010

The items listed hereinafter are hereby made a part of the contract for the above project and shall govern the work, taking precedence over previously issued plans and specifications governing the items mentioned.

A. **SPECIFICATIONS**

1. **DIVISION 7 – THERMAL AND MOISTURE PROTECTION**

a. **SECTION 07110 – MEMBRANE WATERPROOFING**

Delete Section 07110 – Membrane Waterproofing in its entirety and replace with the attached revised Section 07110.

- b. SECTION 07181 – TRAFFIC COATINGS
Para. 1.05, Add the following to the paragraph:

“The Surety shall not be held liable beyond two years of the project acceptance date.”

- c. SECTION 07540 – PVC SHEET ROOFING

Para. 2.04.A.1, Delete this paragraph and insert the following paragraph:

“1. R-Value: Subject to compliance with requirements, provide insulation with minimum R-value of 19 °F·ft²·h/Btu.”

2. DIVISION 16 – ELECTRICAL

- a. SECTION 16050 – BASIC MATERIALS AND METHODS

Para. 1.03, Delete this paragraph and insert the following paragraph:

“Any item of material, apparatus, equipment furnished and installed, or construction by the Contractor showing defects in design, construction, quality or workmanship within one year from the date of final acceptance by the HPHA Engineer shall be replaced by such new material, apparatus or parts as may be found necessary to make such defective portion of the complete system conform to the true intent and meaning of the specification and/or the drawings. Such repairs or replacement shall be made by the Contractor, free of all expense to the HPHA.”

B. SKETCHES (8-1/2" x 11" size)

ARCHITECTURAL

1. Sketch No. 1 (Reference Sheet A7.1 – MISCELLANEOUS DETAILS):
Revise Detail 6/A7.1, Concrete Deck Repair Detail.
2. Sketch No. 2 (Reference Sheet A7.1 – MISCELLANEOUS DETAILS):
Revise Detail 8/A7.1, Waterproof Membrane and Cement Plaster Connection.
3. Sketch No. 3 (Reference Sheet A7.3 – MISCELLANEOUS DETAILS):
Revise Detail 3/A7.3, Bracket Support Detail and Detail 4/A7.3, Bracket Support Detail.
4. Sketch No. 4 (Reference Sheet A7.4 – MISCELLANEOUS DETAILS):
Revise Detail 6/A7.4, Solid Surface Countertop.

MECHANICAL

5. Sketch No. 5 (Reference Sheet M3.0 – HEATER ROOM PLANS, SCHEDULES AND NOTES):
 - a. Revise Domestic Water Booster Pump Schedule.
 - b. Revise Steel Hot Water Storage Tank Schedule.

ELECTRICAL

6. Sketch No. 6 (Reference Sheet E1.2 – DEMOLITION PLAN - FIRST FLOOR): Add note to remove the existing fire alarm annunciator.
7. Sketch No. 7 (Reference Sheet E2.2 – ELECTRICAL PLAN - FIRST FLOOR): Revise note to provide a new fire alarm annunciator.
8. Sketch No. 8 (Reference Sheet E3.1 – ELECTRICAL PLANS - MECHANICAL ROOM):
 - a. Electrical Plan - Basement Mechanical Room: Revise the HP rating of the new booster pumps.
9. Sketch No. 9 (Reference Sheet E4.1 – PANEL SCHEDULES): Revise the breaker sizes for the new booster bumps.

LANDSCAPE

10. Sketch No. 10 (Reference Sheet L2.1 – IRRIGATION PLAN): Add the Board of Water Supply Flow Requirements for the irrigation system and fixture unit calculation table.

C. CLARIFICATIONS (No drawings will be re-issued)

ARCHITECTURAL

1. Plan Sheet A7.1 – MISCELLANEOUS DETAILS
 - a. Detail 5/A7.1, Change all waterproofing membrane notes to Deductive Alternate No. 3.

ELECTRICAL

2. Plan Sheet E3.1 – ELECTRICAL PLANS - MECHANICAL ROOM
 - a. Electrical Plan - Basement Mechanical Room: Add the following note designator 11 to Note #4:

“11” 3/4"C, 3#10, 1#12 GND”

D. REQUESTS FOR INFORMATION (RFI)

1. Question: (Email submission by "Starcom Builders, Inc.") "16050-2 1.03 Guarantee states Exemptions shall be high density discharge, fluorescent and incandescent lamps which shall be guaranteed for one half the manufacturer's listed life time. What does the manufacturer's listed life time mean?"

Response:

Disregard, statement has been deleted from the specifications as per this Addendum No. 2 document.

2. Question: (Email submission by "Starcom Builders, Inc.") "When the Fire Alarm work is done in the Units, how will access to the Units be granted? Also do we just paint the patches for the Fire Alarm work in the Units?"

Response:

1) Fire Alarm – refer to the Minutes of Pre-bid Meeting attached to the Addendum No. 1 document

2) Painting – refer to the electrical drawings.

E. SUBSTITUTION OF MATERIALS

1. Mechanical Accessory Products Company (MAPCO), March 8, 2010

Section/ Item	Specified Brand	Substitute or Alternate Brand	Variant Features	Approval/ Denial
Exhaust Fan	Penn DX14B	Loren Cook ACE-B 150C5B	None	Approved
Exhaust Fan	Penn DX08B	Loren Cook ACE-B 100C3B	None	Approved

2. Walsh & Associates, Inc., March 10, 2010

Section/ Item	Specified Brand	Substitute or Alternate Brand	Variant Features	Approval/ Denial
07540 PVC Sheet Roofing	Durolast 60 mil PVC	Fibertite 8552 – 60 mil membrane	Ketone Ethylene Ester (KEE)	Approved

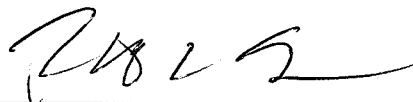
3. Hawaii Supply, LLC., March 17, 2010

Section/ Item	Specified Brand	Substitute or Alternate Brand	Variant Features	Approval/ Denial
07540 PVC Sheet Roofing	Durolast 60 mil PVC	Carlisle Sure- Flex 60 mil PVC membrane	20 year warranty at no additional cost to the building owner	Approved

4. Doonwood Engineering, Inc., March 17, 2010

Section/ Item	Specified Brand	Substitute or Alternate Brand	Variant Features	Approval/ Denial
Domestic Water Booster Pump	Tigerflow TVMBV-3GF-C- S4	QuantumFlo Genius V3	None	Approved
Domestic Water Booster Pump	Tigerflow TVMBV-3GF-C- S4	Grundfos BoosterpaQ Hydro MPC	None	Approved

Approved by:



Rick T. Sogawa
Acting Procurement Officer



DIVISION 7 - THERMAL AND MOISTURE PROTECTION

SECTION 07110 - MEMBRANE WATERPROOFING

PART 1 - GENERAL

1.01 SUMMARY

Provide labor, materials, equipment supervision necessary to complete the fluid applied planter box waterproofing.

1.02 SUBMITTALS

- A. Submit in accordance with GR 6 - SUBMITTALS.
- B. Product Data: Manufacturer's product data and application instructions.
- C. Shop Drawings: Shop drawing showing detailed installation plans, elevations, sections, and details.

1.03 QUALITY ASSURANCE

Qualifications: Manufacturer of the coating system shall have a minimum of five (5) years experience in the manufacturer of fluid applied urethane coatings. The system applicator shall be approved by the Manufacturer and shall have a minimum of five (5) years experience in application of fluid applied urethane coatings.

1.04 JOB CONDITIONS

- A. Install coating materials under conditions where all of the following conditions are met:
 - 1. Pervious coatings have been removed (if applicable) and concrete surface is per manufacturer requirements. See paragraph 3.01 entitled "CONDITION OF SURFACES".
 - 2. Concrete has not been treated with any substance, which may adversely affect adhesion or performance.
 - 3. Rain is not anticipated within 8 hours of application.
- B. Strictly adhere to special requirements of Manufacturer.

1.05 GUARANTEE

The system applicator shall furnish to the HPHA a written guaranty of the coating system for a 5-year period after project acceptance date. The Surety shall not be held liable beyond two years of the project acceptance date. This shall be material and labor guaranty and shall provide the following at no cost to HPHA.

- A. Repair of coating system, as necessary to repair all leaks which are attributable to faulty materials and/or workmanship.
- B. Inspection of the coating system by the systems applicator and the Manufacturer's Representative together and the building manager (if applicable) before, during and after the application of the urethane coating system.

PART 2 - PRODUCTS

2.01 GENERAL

Components shall be products of Pacific Polymers International and shall be certified by Pacific Polymers International as compatible with components produced by him. Equal products of other manufacturers are acceptable.

2.02 BELOW GRADE WATERPROOFING

Coating materials is based on Elasto Deck B.T. 100% Solids Type II system to establish the standard.

2.03 RELATED MATERIALS

- A. Sealant: Elasto Thane 230 and/or Elasto Thane 227 H.S.
- B. Spall Repair Material: Portland cement polymer modified concrete (Thorite or equal).
- C. Drainage Composite Mat: MiraDrain 9800.

PART 3 - EXECUTION

3.01 CONDITION OF SURFACES

- A. Before the coating system is applied to the prepared, approved structurally sound substrate, the surface shall be inspected and approved by the Manufacturer's representative in writing.

- B. Structurally sound substrate shall be free of all contaminants which may impede adhesion of urethane coating system.
- C. Any metal surfaces shall be clean, dry and free of any contaminants which may impede adhesion of urethane coating system.

3.02 PREPARATION

- A. Thoroughly clean all surfaces to receive urethane coating in strict compliance with Manufacturer's written instructions and recommendations. Remove any and/or all foreign matter, which may impede adhesion of new urethane coating system(s). Remove all loose delaminated, bubbled coatings down to sound tight surface.
- B. Rout and/or sawcut all cracks exceeding 1/16-inch in width and caulk with Elasto Thane 230.
- C. Stripe and sawcut cracks with 25 dry mils of Elasto Deck B.T. 100% Solids Type II.
- D. Caulk all vertical/horizontal expansion, control and/or construction joints to be overcoated by base coat with Elasto Thane 230 and/or Elasto Thane 227 H.S.
- E. Repair any and/or all spalling concrete with polymer modified concrete.
- F. Protect adjacent surfaces as required.

3.03 FLASHING

Provide flashing(s) per manufacturer's recommendations at all locations where a horizontal surface abuts a vertical surface and at all and/or any penetrations.

3.04 APPLICATION OF COATING SYSTEM

- A. After any and/or all surfaces to receive coating system have been thoroughly cleaned and approved by manufacturer's representative.
- B. Apply the first coat of Elasto Deck B.T. 100% Solids Type II at the rate of 2.5 gallons per 100 sq.ft. for 30 dry mils.
- C. After an overnight cure, apply the second coat of Elasto Deck B.T. 100% Solids Type II at the rate of 2.5 gallons per 100 sq.ft. for 30 dry mils.
- D. After an overnight cure, apply the third coat of Elasto Deck B.T. 100% Solids Type II at the rate of 2.5 gallons per 100 sq.ft. for 30 dry mils.
- E. Total dry film thickness shall be 90 mils of Elasto Deck B.T. 100% Solids Type II system.

F. After an overnight cure, apply the drainage composite mat.

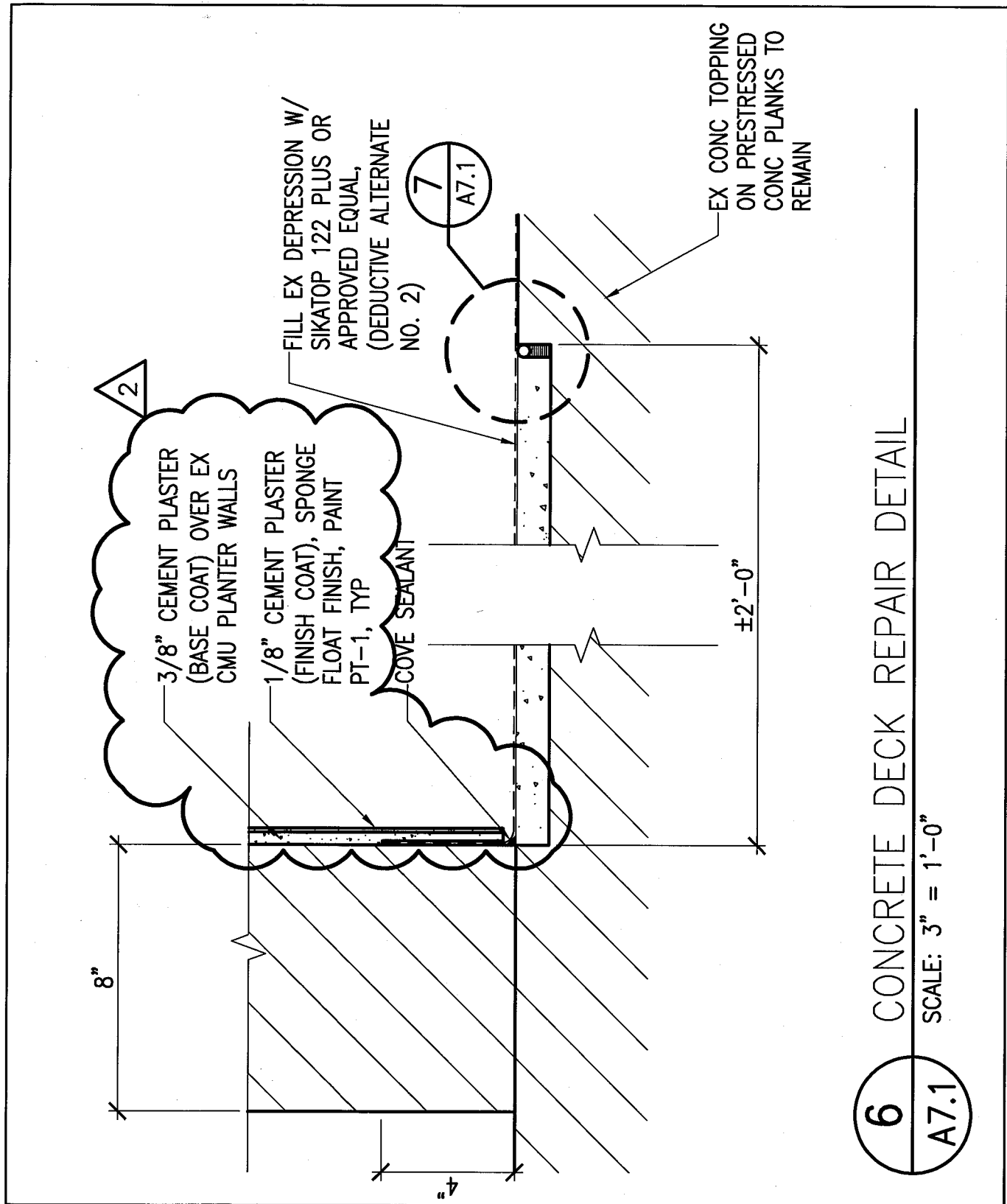
3.05 CLEANING

- A. Clean all adjacent surfaces with approved cleaning agent.
- B. Remove all construction debris and other items of work from the project site.
- C. Remove foreign matter from finished coating surfaces.

3.06 FIELD QUALITY CONTROL

Flood Test: Plug drains on deck surfaces and use sandbags or other means to restrict runoff. Flood deck with water to a depth of 2-inches to 4-inches and allow to stand for at least 48 hours. If leakage occurs, repair membrane to the satisfaction of the HPHA Project Engineer and retest.

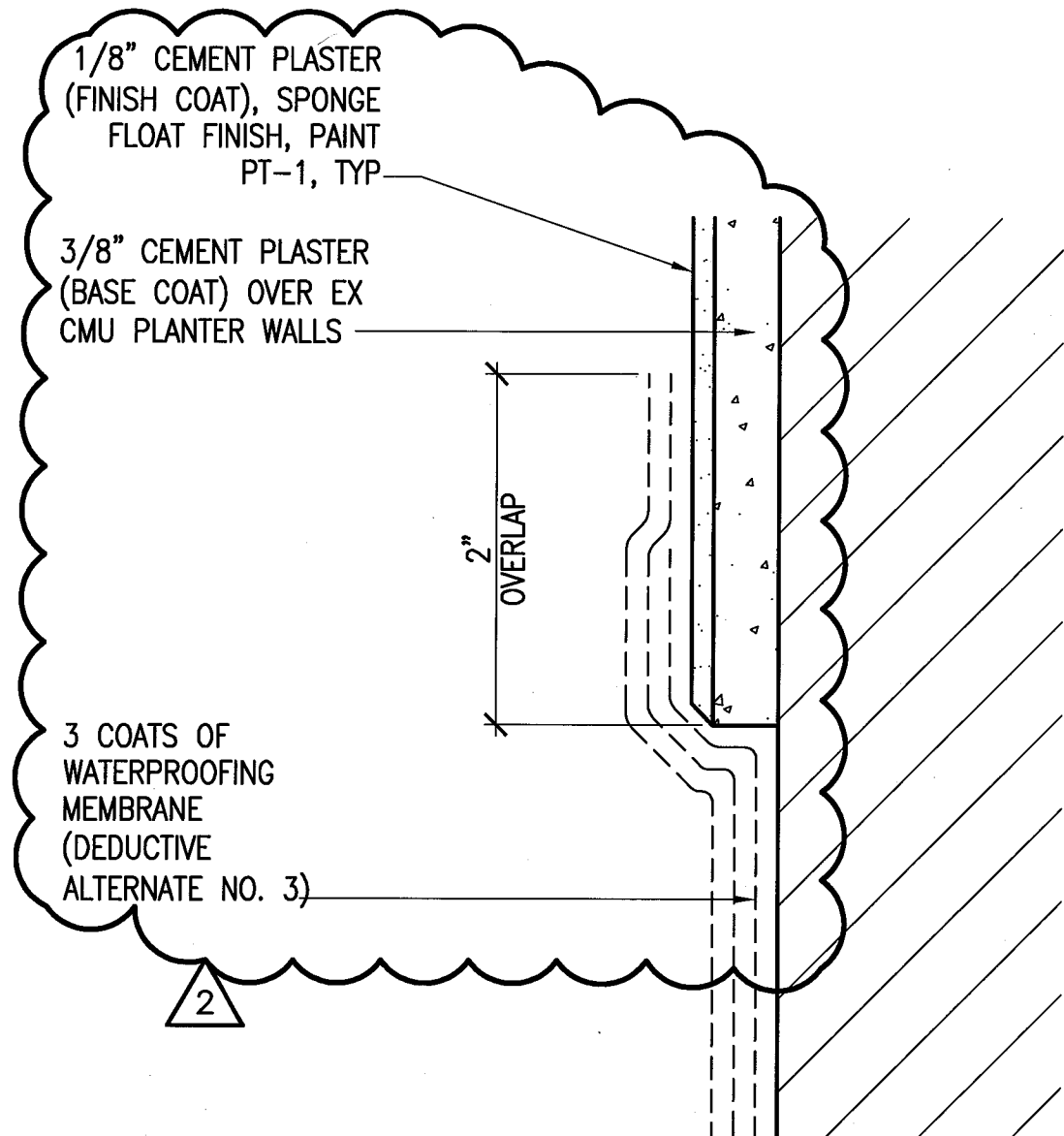
END OF SECTION



6
A7.1

CONCRETE DECK REPAIR DETAIL

SCALE: 3" = 1'-0"



8
A7.1

WATERPROOF MEMBRANE AND CEMENT PLASTER CONNECTION

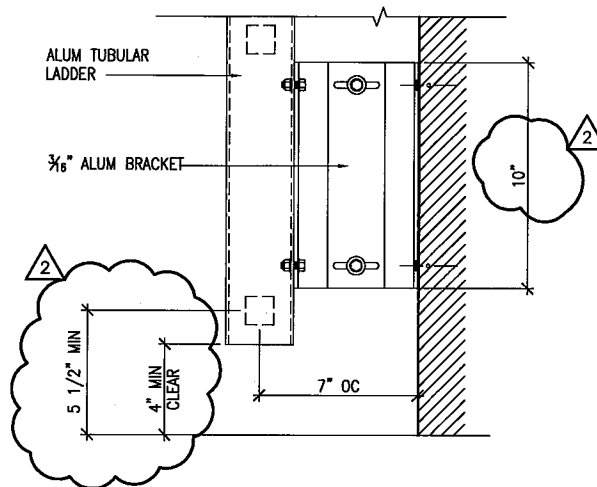
SCALE: 1'-0" = 1'-0"

HALE PO'AI
BUILDING IMPROVEMENTS
HPHA JOB NO. 07-031-401-S

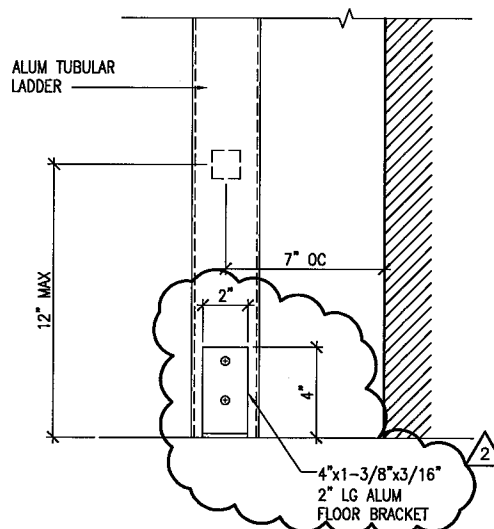
3/24/10

ADDENDUM NO. 2

REFERENCE SHEET NO.: A7.1
SKETCH NO. 2
SK PAGE 2 OF 10



3 BRACKET SUPPORT DETAIL
A7.3 SCALE: 1-1/2" = 1'-0"



4 BRACKET SUPPORT DETAIL
A7.3 SCALE: 1-1/2" = 1'-0"



DOMESTIC WATER BOOSTER PUMP									
MARK	TYPE	MANUFACTURER	MODEL	GPM	R.P.M.	TOTAL HEAD FEET	HORSE POWER	VOLTS	PHASE
P-1	TRIPLEX	TIGERFLOW VMS-4000-VFD	TM8V-3GF-C-S4	320	3600	90	(3) 5 HP	208	3
VARIABLE SPEED : SUCTION PRESSURE 45 PSI MIN. UL LISTED SOLID STATE POWER & CONTROL PANEL FUNCTIONS: PRESSURE SEQUENCING, SUCTION AND DISCHARGE PRESSURE READ-OUT, HISTORY LOG, INDIVIDUAL PUMP RUN INDICATION, H-O-A SELECTORS.									
AQUASTAT CONTROL STAINLESS STEEL TRIMS 50%/50%/50% CAPACITY (160 GPM/160GPM/160GPM)									

STEEL HOT WATER STORAGE TANK					
MARK	QUANTITY	MANUFACTURER	INSULATION	CAP. GALLONS	REMARKS
ST-1	1	PARKER, (PANSON)	R-16 URETHANE FOAM WITH TOP COAT	1040	ATTACHED SADDLES - ASME 150 PSIG

HALE PO'AI
 BUILDING IMPROVEMENTS
 HPHA JOB NO. 07-031-401-S
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ADDENDUM NO. 2

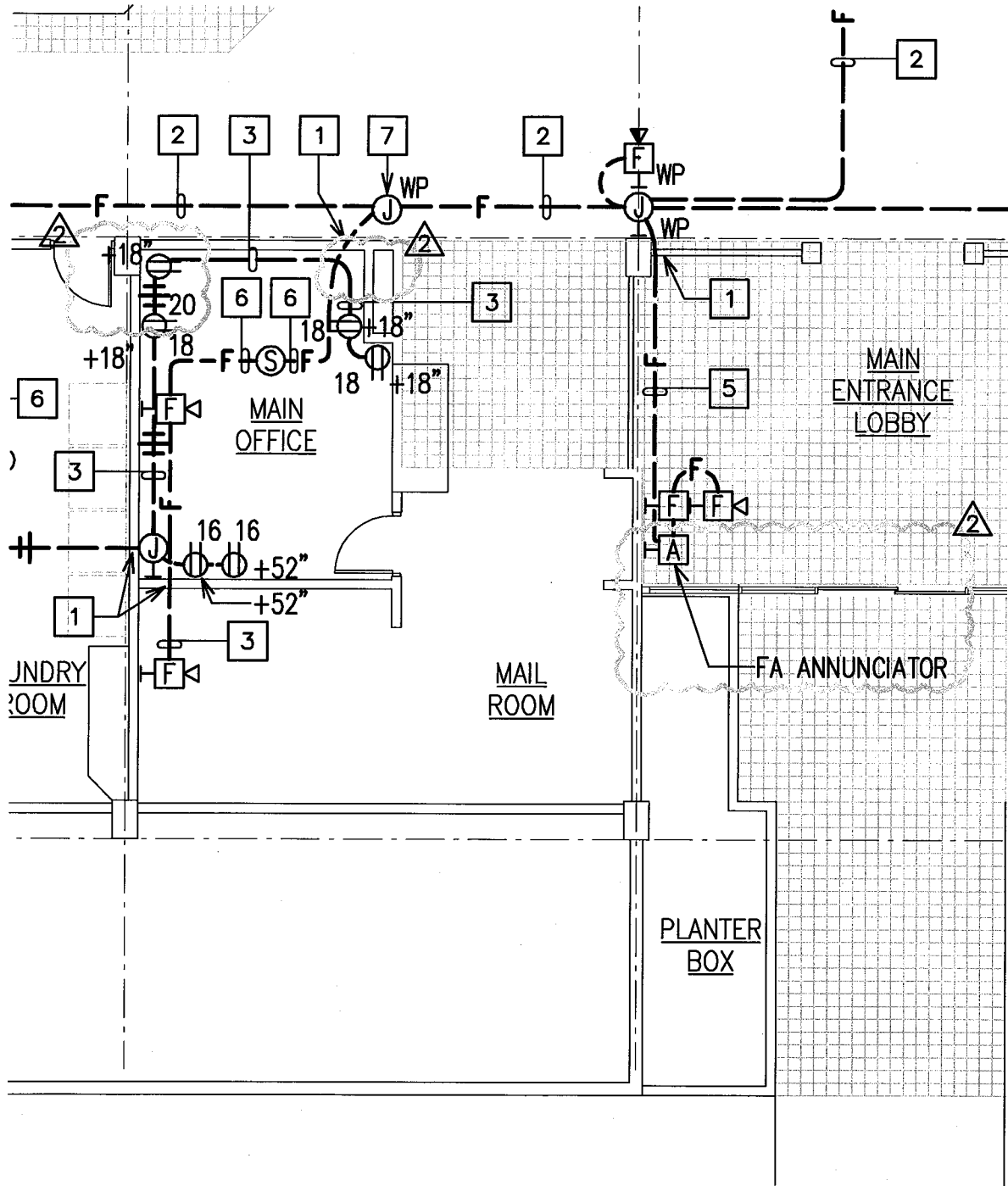
REFERENCE SHEET NO.: M3.0
 SKETCH NO. 5
 SK PAGE 5 OF 10

The floor plan illustrates the Main Entrance Lobby and its surrounding areas. The central area is labeled "MAIN ENTRANCE LOBBY" and contains a "FA ANNUNCIATOR" (marked with a triangle containing the number 2). To the left is the "MAIL ROOM", and to the right are two "PLANTER BOX" areas. The plan includes several numbered callouts (1 and 2) pointing to specific equipment and features, such as fire extinguishers (marked with 'F' and asterisks) and other devices. A dashed line indicates a boundary or path within the lobby area.

REFERENCE SHEET NO.: E1.2
SKETCH NO. 6
SK PAGE 6 OF 10

ADDENDUM NO. 2

LAST SAVE: 03/24/10 15:32:17 BY: T.M. PLOT SC 1/8"=1'
 Z: \ACAD\PROJECTS\28062\SKE\SKE-E007 XREFS: X_1FP_XRH_28062_1ST FLR_BACKGND ALL E-202_28062_NEW PLAN_1ST FLR=28062_E-202_28062_NEW PLAN_1ST FLR

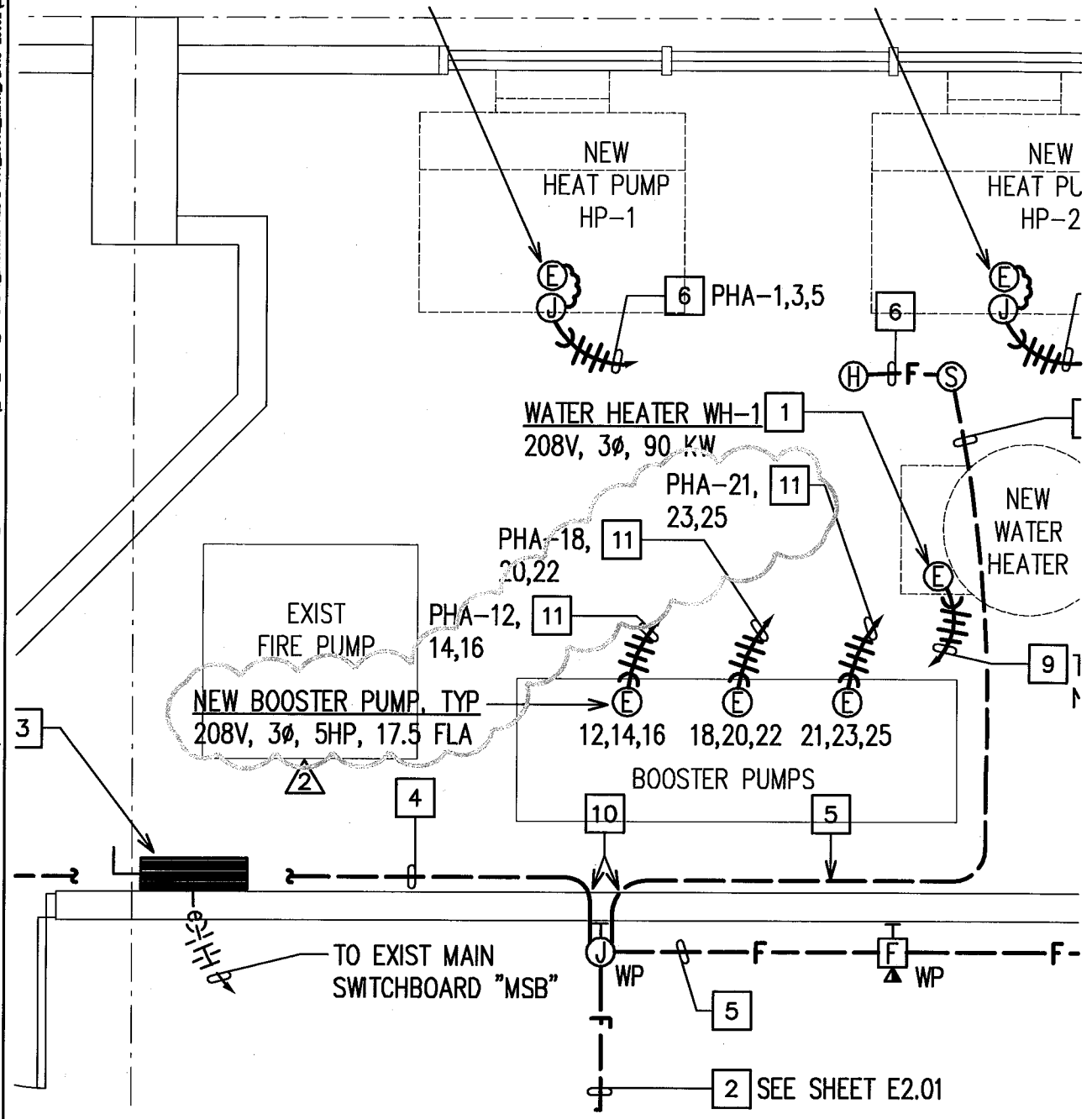


HALE PO'AI
 BUILDING IMPROVEMENTS
 HPHA JOB NO. 07-031-401-S
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ADDENDUM NO. 2

REFERENCE SHEET NO.: E2.2
 SKETCH NO. 7
 SK PAGE 7 OF 10

LAST SAVE: 03/24/10 @ 15:33:44 BY: TJM PLOT SC 3/8"=1'
 Z:\ACAD\PROJECTS\28062\SKE\SKE-E008 XREFS X\MECH ROOM-28062\MECH ROOM-28062 E-301_28062_MECH_PLANS-28062 E-301_28062_MECH_PLANS



HALE PO'AI
 BUILDING IMPROVEMENTS
 HPHA JOB NO. 07-031-401-S
 3/24/10

ADDENDUM NO. 2

REFERENCE SHEET NO.: E3.1
 SKETCH NO. 8
 SK PAGE 8 OF 10

LAST SAVE: 03/24/10 15:32:36 BY: TJM PLOT SC 1'-1"
 Z: \ACAD\PROJECTS\28062\SKE-E009 XREFS: E-401_28062_PNL_SCHD E-401_28062_PNL_SCHD

EXIST PANEL "PHA"		3P225A MAIN CIRCUIT BREAKER, 208Y/120V, 3 PHASE, 4 WIRE, 10,000 A.I.C. INDUSTRIAL-BOLTED TYPE, SURFACE MOUNTED												
CKT. NO.	USE: L-LTS, R-RECEP, PFB-PROVISION FUTURE BKR., S-SPARE, F-FAN, W-WARMER	BREAKER		WIRE SIZE	KVA ON BUSESSES						WIRE SIZE	BREAKER		
		POLE	AMPS		PHASE A		PHASE B		PHASE C			POLE	AMPS	
1	HEAT PUMP #2 (**)	3	100		1.8	1.0						1	20	
3	-	-	---				1.8	1.2				3	50	
5	-	-	---						1.8	1.2		-	---	
7	HEAT PUMP #1 (**)	3	100		1.8	1.2						-	---	
9	-	-	---				1.8	1.2				1	30	
11	-	-	---						1.8	1.2		3	35	
13	R - MECHANICAL ROOM	1	20		0.8	1.2						-	---	
15	RECIRC PUMP P-1 (**)	1	20				1.0	1.2				-	---	
17	SPARE (*)	1	20						1.0	1.2		3	35	
19	SPARE (*)	1	20		1.0	1.2						-	---	
21	BOOSTER PUMP (**)	3	35				1.2	1.2				-	---	
23	-	-	---						1.2	-		3	-	
25	-	-	---		1.2	-						-	---	
27	PFB	1	---				-	-				-	---	
29	PFB	1	---						-	-		1	---	
31	PFB	1	---		-	-						1	---	
33	PFB	1	---				-	-				1	---	
35	PFB	1	---						-	-		1	---	
37	PFB	1	---		-	-						1	---	
39	PFB	1	---				-	-				1	---	
41	PFB	1	---						-	-		1	---	
CONNECTED LOAD PER PHASE					11.2		10.6		9.4					
TOTAL COI														
DEMAND F														
TOTAL DEJ														
NOTE: ALL CIRCUITS ARE EXISTING, UNLESS OTHERWISE NOTED.														
NOTE: * DENOTES CIRCUIT BREAKER SHALL REMAIN IN "OFF" POSITION.														
NOTE: ** DENOTES NEW CIRCUIT.														

HALE PO'AI
 BUILDING IMPROVEMENTS
 HPHA JOB NO. 07-031-401-S
 3/24/10

ADDENDUM NO. 2

REFERENCE SHEET NO.: E4.1
 SKETCH NO. 9
 SK PAGE 9 OF 10

BWS FLOW REQUIREMENTS - IRRIGATION SYSTEM

HALE PO'AI

1001 N. SCHOOL STREET, HONOLULU, HI

PREMISE I.D.# 1116020 M/N 03079045 (2" METER)

TMK # 16007067

	FIXTURE UNITS (FU)	GALLONS PER MINUTE (GPM)	GALLONS PER DAY (GPD)
PROPOSED IRRIGATION (HIGHEST VALVE)	6	5	143
TOTAL PROPOSED	6	5	143
TO BE REMOVED/ DEMOLITION (IRRIGATION) (HIGHEST VALVE)	40	25	178
NET CHANGE (IRRIGATION)	-34	-20	-35
EXISTING TO REMAIN (IRRIGATION - HIGHEST VALVE)	0	0	0
GRAND TOTAL (IRRIGATION)	6	5	143

FLOW AND DEMAND NOTES

1. OPERATION OF THE IRRIGATION SYSTEM WILL BE DONE DURING OFF-PEAK HOURS
2. THE EXISTING MAXIMUM IRRIGATION DEMAND IS 25 GPM (VALVE B1 AND B3) AS SHOWN ON THE CONSTRUCTION PLANS FOR "KAPUNA II ELDERLY APARTMENTS," JOB NO. DEV. 2-87, PREPARED FOR THE DEPARTMENT OF BUSINESS AND ECONOMIC DEVELOPMENT HOUSING FINANCE AND DEVELOPMENT CORPORATION, DATED NOVEMBER 16, 1987.
3. THERE IS NO INCREASE IN THE GPD THROUGH THE METER. THE EXISTING SYSTEM USES POP-UP SPRAY HEADS AND THE PROPOSED SYSTEM WILL BE DRIP WHICH IS MORE EFFICIENT.
4. THERE IS A EXISTING 6" BACKFLOW PREVENTER AS VERIFIED BY THE BOARD OF WATER SUPPLY CROSS CONNECTION/BACK FLOW PREVENTION DIVISION.

2

HALE PO'AI
BUILDING IMPROVEMENTS
HPHA JOB NO. 07-031-401-S

3/24/10

ADDENDUM NO. 2

REFERENCE SHEET NO.: L2.1
SKETCH NO. 10
SK PAGE 10 OF 10



STATE OF HAWAII
DEPARTMENT OF HUMAN SERVICES
HAWAII PUBLIC HOUSING AUTHORITY
1002 NORTH SCHOOL STREET
P.O. BOX 17907
Honolulu, Hawaii 96817

BARBARA E. ARASHIRO
EXECUTIVE ASSISTANT

ADDENDUM NO. 1

TO THE
PLANS AND SPECIFICATIONS
FOR
FURNISHING LABOR AND MATERIALS
REQUIRED FOR

**HALE PO'AI
BUILDING IMPROVEMENTS**

HA-2401

1001 NORTH SCHOOL STREET
HONOLULU, OAHU, HAWAII

TAX MAP KEY: 1-6-07: 67

HPHA JOB NO. 07-031-401-S

IFB-CMS-2009-36

March 16, 2010

The items listed hereinafter are hereby made a part of the contract for the above project and shall govern the work, taking precedence over previously issued plans and specifications governing the items mentioned.

A. SPECIFICATIONS

1. FORM OF BID

- a. Delete the Form of Bid in its entirety and replace with the attached Revised Form of Bid.

2. DIVISION 1 – GENERAL REQUIREMENTS

a. GR 1 – SUMMARY OF WORK

Para. 1.03.G, Delete this paragraph and insert the following paragraph:

“G. The Contractor shall provide at least (4) ADA accessible portable toilets for the exclusive building occupant use during any interruption to water or sewer service to the building. Location of these portable toilets shall be determined by the HPHA Project Engineer.”

B. CLARIFICATIONS (No drawings will be re-issued)

ARCHITECTURAL

1. Plan Sheet T2.0 – INDEX TO DRAWINGS, ABBREVIATIONS, SYMBOLS

- a. Revise General Note #7 to read, “CONTRACTOR SHALL PROVIDE A TRASH CHUTE FROM THE GROUND TO THE ROOFTOP OF THE MAKAI BUILDING AND THE MAUKA BUILDING DURING THE DEMOLITION OF THE EXISTING ROOFING. LOCATION OF THE TRASH CHUTES SHALL BE DETERMINED BY THE HPHA PROJECT ENGINEER.”
- b. Add the following General Note #13:

“THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE TO REMAIN, AND SHALL PREVENT DAMAGE TO SURROUNDING MATERIAL, FINISHES, ETC. THE CONTRACTOR SHALL REPAIR AND REPLACE ANY DAMAGED ITEMS AT NO ADDITIONAL COST TO THE STATE.”
- c. Add the following General Note #14:

“THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE RESTORATION OF ALL LAWN AND GRASS AREAS AND/OR SHRUBS, LANDSCAPING, LAWN SPRINKLER HEADS, SIDEWALKS, PAVEMENTS, ETC. THAT ARE DAMAGED AS A RESULT FROM THE CONSTRUCTION OF THIS PROJECT.”
- d. Revise Construction Phasing Note #5 to read, “THE CONTRACTOR SHALL PROVIDE AT LEAST (4) ADA ACCESSIBLE PORTABLE TOILETS FOR THE EXCLUSIVE BUILDING OCCUPANT USE DURING ANY INTERRUPTION TO WATER OR SEWER SERVICE TO THE BUILDING. LOCATION OF THESE PORTABLE TOILETS SHALL BE DETERMINED BY THE HPHA PROJECT ENGINEER.”

- e. Revise Construction Phasing Note #6 to read, "UPON REQUEST, THE CONTRACTOR WILL BE ABLE TO USE AN ELEVATOR DURING SPECIFIC HOURS OF THE DAY. THE CONTRACTOR SHALL NOT USE THE ELEVATORS PRIOR TO APPROVAL FROM THE BUILDING MANAGER. ONE OF THE (2) ELEVATORS MUST BE OPERABLE AT ALL TIMES FOR BUILDING OCCUPANT USE UNTIL THE COMPLETION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE ELEVATORS AS A RESULT FROM THE CONSTRUCTION OF THIS PROJECT."

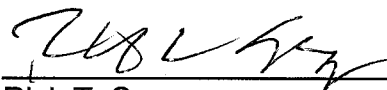
C. MINUTES OF PRE-BID MEETING

The attached Minutes of Pre-bid Meeting are hereby incorporated and made part of the contract for the above Proposal documents and shall be used to clarify and/or amend the previously issued drawings and specifications effective the date of this addendum.

D. MISCELLANEOUS ITEMS

- 1. This information supercedes the pre-bid meeting minutes dated March 8, 2010
 - a. Revise #3 to read, "HPHA will only evaluate the bids according to the Total Lump Base Bid (Bid Item No. 1 plus Bid Item No. 2) including tax. It is understood that the award of contract will be made to the lowest responsible responsive bidder."

Approved by:



Rick T. Sogawa
Acting Procurement Officer



**FORM OF BID
(PROPOSAL)**

**FURNISHING LABOR AND MATERIALS
REQUIRED FOR THE**

**HALE PO'AI
BUILDING IMPROVEMENTS**

TAX MAP KEY: 1-6-07: 67

HPHA JOB NO. 07-031-401-S

To: Hawaii Public Housing Authority (HPHA)
1002 North School Street
Honolulu, Hawaii 96817

1. The undersigned ("Bidder"), having visited the worksite and being familiar with the conditions under which the work is to be performed and having read the specifications and other documents relating to Job. No. 07-031-401-S, Hale Po'ai Building Improvements, Honolulu, Oahu, Hawaii, Honolulu, Oahu, Hawaii, hereby proposes to furnish all labor, materials, equipment, tools, transportation, permits, incidentals, supplies and services required to perform the following, in place complete, all the work as shown and called for, all according to the true intent and meaning of the contract documents for the following price(s):

ITEM NO. 1 – BASE BID: The scope of work covered under the Base Bid in general includes, but is not limited to partial demolition, re-roofing, painting, plastering, traffic coating, waterproofing, landscaping, mechanical, electrical, and miscellaneous work, excluding concrete repair which shall be included in Bid Item No. 2 for a Total Lump Sum Base Bid of:

_____ DOLLARS (\$ _____)

STATE GENERAL EXCISE TAX (_____ %): _____

_____ DOLLARS (\$ _____)

TOTAL BID ITEM NO 1: (includes Bid Item #1 and State GET)

_____ DOLLARS (\$ _____)

ITEM NO. 2 – CONCRETE REPAIR: The scope of work covered under Bid Item No. 2 in general shall consist of all concrete repair work of spalls and cracks not covered by the Bid Item No. 1 – Base Bid.

The Contractor shall include in Bid Item No. 2 a declaration of the UNIT PRICE for each respective work item and the TOTAL COST for the estimated quantities indicated. Note that the UNIT PRICE shall include the related overhead and profit and shall be used for accounting purposes only.

In the event that during construction the declared estimated quantities are exceeded beyond fifteen percent (15%), the Contractor shall submit a proposal request for the repairs at the unit prices indicated below. No work for additional quantities beyond fifteen percent (15%) shall proceed without prior approval from HPHA. Should the actual quantities be below the declared estimated quantities beyond fifteen percent (15%), then a change order for the deriving credit for the lesser quantity shall be provided.

<u>DESCRIPTION</u>	<u>ESTIMATED QUANTITY</u>	<u>UNIT PRICE</u>	<u>TOTAL COST</u>
Section 03930 Crack Repair	200 LF	\$_____/LF	\$_____
Section 03930 Spall Repair	300 SF	\$_____/SF	\$_____
SUBTOTAL LUMP SUM BID OF _____ DOLLARS (\$_____)			
STATE GENERAL EXCISE TAX (_____%): _____			
_____ DOLLARS (\$_____)			
<u>TOTAL BID ITEM NO 2: (includes Bid Item #2 and State GET)</u>			
_____ DOLLARS (\$_____)			

RECAPITULATION OF TOTAL LUMP SUM BASE BID PROPOSAL:

SUBTOTAL BID ITEM NO. 1 – BASE BID	\$ _____
SUBTOTAL BID ITEM NO. 2 – CONCRETE REPAIR	\$ _____

TOTAL LUMP SUM BASE BID INCLUDING TAX _____

_____ DOLLARS (\$ _____)

The contract time shall be 210 consecutive calendar days.

ITEM NO. 3 – DEDUCTIVE ALTERNATE NO. 1:

Deduct the replacing of hot water storage tank with stainless steel type.

Deduct from Total Lump Sum Base Bid the sum of:

_____ DOLLARS (\$ _____)

STATE GENERAL EXCISE TAX (_____ %): _____

_____ DOLLARS (\$ _____)

TOTAL BID ITEM NO 3: (includes Bid Item #3 and State GET)

_____ DOLLARS (\$ _____)

Deduct 00 calendar days from the contract time.

ITEM NO. 4 – DEDUCTIVE ALTERNATE NO. 2:

Deduct the resurfacing deck with traffic coating.

Deduct from Total Lump Sum Base Bid the sum of:

_____ DOLLARS (\$ _____)

STATE GENERAL EXCISE TAX (_____ %): _____

_____ DOLLARS (\$ _____)

TOTAL BID ITEM NO 4: (includes Bid Item #4 and State GET)

_____ DOLLARS (\$ _____)

Deduct 00 calendar days from the contract time.

ITEM NO. 5 – DEDUCTIVE ALTERNATE NO. 3:

Deduct the repairing of courtyard planters.

Deduct from Total Lump Sum Base Bid the sum of:

_____ DOLLARS (\$ _____)

STATE GENERAL EXCISE TAX (_____ %): _____

_____ DOLLARS (\$ _____)

TOTAL BID ITEM NO 5: (includes Bid Item #5 and State GET)

_____ DOLLARS (\$ _____)

Deduct 00 calendar days from the contract time.

2. The low bidder for purposes of award shall be the conforming responsible and responsive bidder offering the lowest total bid amount. In submitting this bid, it is understood that the award of contract will be made to the lowest responsible responsive bidder for the Total Lump Sum Base Bid (Bid Item No. 1 plus Bid Item No. 2) including tax.
3. Subject to the availability of funds, the HPHA reserves the right to delete one or more of the bid items. In the event that funds are insufficient, HPHA shall delete bid items in the ascending order from Deductive Alternate No 1.
4. In submitting this bid, it is understood that the Bidder has examined and is familiar with the existing site conditions and the scope of work as provided by the drawings and specifications and accepts all conditions of the work.
5. The Bidder proposes to complete the work specified above within **210** calendar days from the date designated in the Notice to Proceed (NTP) letter after the award of the bid.
6. The liquidated damages shall be **\$700.00** for each calendar day of delay.
7. HPHA reserves the right to accept or reject any and all bids and to determine the lowest responsive and responsible bidder.
8. The Bidder understands that no supplemental literature, brochures or other unsolicited information should be included in the bid packet. Any such literature, brochures or other unsolicited information shall not be considered. Any bid offering any other set of terms and conditions contradictory to those included in this IFB may be rejected without further notice.
9. The Bidder understands that this bid may not be withdrawn within one hundred twenty (120) calendar days after the opening of bids.
10. It is understood and agreed that if the Bidder fails to start the work at the job site within thirty (30) calendar days as indicated on the approved working schedule, the failure will be sufficient cause to terminate the contract as specified in the HPHA General Conditions (ARTICLE 7.27, TERMINATION OF CONTRACT FOR CAUSE). Work at the job site is defined as any Contractor operations as detailed in the working schedule approved by the HPHA.

11. Failure to complete the bid proposal in its entirety may cause a bid to be considered non-responsive.
12. Bid Security in the Sum of _____
_____ DOLLARS (\$ _____) in the
form of _____ is submitted in accordance with the Specifications.
13. Upon acceptance of this bid, the undersigned hereby agrees to enter into, execute, and deliver the Contract set forth in the specifications and furnish the required bond within ten (10) calendar days after the contract is presented to him for signature.
14. PREFERENCES

The following conditions shall apply:

- a. Recycled Product Preference shall not apply to this proposal.
- b. It is further understood by the bidder that upon being granted Hawaii Products and being awarded the contract, if the bidder fails to use such products or meet the requirements of such preference, the bidder shall be subject to penalties, if applicable.
- c. The Reciprocal Preference shall apply to this proposal. The Executive Director will impose a Reciprocal Preference to all out of state bidders that is equal to the Preference Requirement that prevails at the State where the bidder is domiciled.

HAWAII PRODUCTS PREFERENCE

Certain Hawaii products and their established classes described in the Hawaii Product Preference Schedule are acceptable for use in the Project. To claim a Hawaii Products Preference, the Bidder shall designate in the attached Hawaii Product Preference Schedule which individual product and its price is to be supplied as a Hawaii product.

Where a bid contains both Hawaii and non-Hawaii products, then for the purpose of selecting the lowest bid, the price bid for a Hawaii product item shall be decreased by subtracting ten per cent for class I Hawaii product items bid or fifteen per cent for class II Hawaii product items bid. Section 103D-1001, HRS, provides the definition for class I and class II products. The lowest total bid, taking the preference into consideration, shall be awarded the contract unless the bid provides for additional award criteria. The contract amount of any contract awarded, however, shall be the amount of the bid, exclusive of the preferences.

The Hawaii Product Preference shall not apply whenever its application will disqualify any governmental agency from receiving federal funds or aid.

Any contract awarded or executed in violation of the Hawaii Products Preference requirements pursuant to 103D-1002, HRS, shall be void and no payment shall be made by the HPHA on account of the contract. Pursuant to Section 4 of Act 175, Session Laws of Hawaii 2009, if the Procurement Officer finds that in the performance of that contract there has been a failure to comply with section 103D-1002, HRS, the contract shall be void and the findings shall be referred for debarment or suspension proceedings under section 103D-702, HRS.

Bidders are encouraged to review section 103D-1002, HRS, as amended by Act 175, Session Laws of Hawaii 2009.

HAWAII PRODUCT PREFERENCE SCHEDULE

ACCEPTABLE HAWAII PRODUCTS			HAWAII PRODUCTS TO BE USED
Description	Class	Manufacturer	Cost FOB Jobsite, Unloading, Including Applicable General Excise & Use Taxes
<u>Aggregate and Sand - Basalt, Rock and Cinder</u>	I	<u>Ameron HC & D</u>	\$ _____
	I	<u>Grace Pacific Corp.</u>	
	I	<u>Jas. W. Glover, Ltd.</u>	
	I	<u>Hawaiian Cement</u>	
	I	<u>West Hawaii Cement</u>	
<u>Asphalt and Paving Material Asphalt Concrete Mixes</u>	I	<u>Black Plumeria, LLC</u>	\$ _____
	I	<u>Bomat, Ltd. dba Bonded Materials Company ({re-packaged Units})</u>	
	I	<u>Grace Pacific Corp.</u> <u>Jas W. Glover, Ltd.</u>	
<u>Concrete - Segmental Retaining Wall Units Keystone Retaining Wall System</u>	I	<u>Tileco, Inc.</u>	\$ _____
<u>Portland Cement - Concrete Mixes</u>	I	<u>Ameron Hawaii</u>	\$ _____
	I	<u>Bomat, Ltd. dba Bonded Materials Company ({re-packaged Units})</u>	
	I	<u>Jas W. Glover, Ltd.</u>	
	I	<u>Hawaiian Cement</u>	
<u>Portland Cement –</u>	I	<u>Island Ready-Mix Concrete,</u>	

<u>Concrete Mixes</u> <u>(continued)</u>	I	<u>Inc.</u> <u>West Hawaii Concrete</u>	
<u>Portland Cement -</u> <u>Bagged, Type I/II</u> <u>Masonry Cement</u> <u>(Ultramortar),</u> <u>Quikrete</u>	I	<u>Bomat, Ltd. dba Bonded</u> <u>Materials Company ({re-</u> <u>packaged Units)</u>	\$ _____
<u>Signs - Traffic,</u> <u>Regulatory and</u> <u>Construction</u>	I I	<u>Safety Systems Hawaii, Inc.</u> <u>Sun Industries, Inc.</u>	\$ _____
<u>Hot Dip</u> <u>Galvanizing</u>	I	<u>Macsteel Service Centers USA</u>	\$ _____
<u>Pipes - Aluminum</u> <u>and Galvanized</u>	I	<u>Hawaii Concrete Products, Inc.</u>	\$ _____

15. BIDDER SHALL BE RESPONSIBLE TO CONFIRM THE EXISTENCE OF ANY ADDENDUM TO THIS BID SOLICITATION BY TELEPHONING (808) 832-5896.
16. Receipt of the following addenda (if any) issued by the HPHA is acknowledged by the date(s) of receipt indicated below:

Addendum No. 1 _____ Addendum No. 3 _____
(Date) (Date)

Addendum No. 2 _____ Addendum No. 4 _____
(Date) (Date)

It is understood that failure to receive any such addendum shall not relieve the Bidder from any obligation under this Proposal as submitted.

FIRM NAME:

OFFICIAL ADDRESS:

By _____

Title _____

Date _____, 20__

March 8, 2010

**Hale Po'ai Building Improvements
HPHA Job No. 07-031-401-S
Pre-Bid Site Inspection Meeting**

Refer to attached Agenda and sign in sheet
Meeting minutes as follows:

Pre-Bid Site Inspection Meeting followed the Agenda with the following discussion:

1. Lisa Izumi, HPHA Project Engineer briefly described the project scope of work as follows:
 - a. Base Bid Item No. 1: The scope of work covered under Base Bid Item No. 1 shall in general include, but is not limited to partial demolition, re-roofing, painting, plastering traffic coating, waterproofing, landscaping, mechanical, electrical and miscellaneous work of selective demolition, fluid applied roofing, roof accessories, painting, and miscellaneous work complete.
 - b. Base Bid Item No. 2: The scope of work covered under Base Bid Item No. 2 shall in general consist of all concrete repair work of spalls and cracks
2. Base Bid Item No. 2 will be evaluated by the Lump Sum Bid price and not as a Unit Price bid item. The unit prices declared by the bidder in the Proposal will be used in the future, in the event that during construction, the listed estimated quantities are exceeded beyond 15% by the actual quantities of concrete repair.
3. All bidders should be aware that if all the opened bids are above the HPHA's budgeted funds for this project, the HPHA will then evaluate the bids according to the deductive alternates in ascending order from Deductive Alternate No. 1.
4. Contractors and subcontractors shall include their "Doing Business As" (DBA) name to their company name in the bid documents.
5. All bidders should double-check their math for the bid items and the state general excise tax (4.712%) should be rounded down.
6. The bid opening date for this project shall be March 31, 2010.

Hale Po'ai Building Improvements

HPHA Job No. 07-031-401-S

Pre-Bid Site Inspection Meeting

Meeting minutes

Continued, Page 2

7. The Notice of Intent to Bid must be received by HPHA no later than 10 calendar days prior to the bid opening date. If the bidder is faxing their Notice of Intent to Bid to HPHA, call 832-5896 to confirm that your Notice of Intent to Bid was received and HPHA will send back a receipt fax.
8. Written questions may be directed to Lisa Izumi. Sending her emailed questions to lisa.m.izumi@hawaii.gov is the preferred method, but fax is also accepted.
9. Substitution request can be emailed or faxed to Lisa Izumi in advance; however, the hard copies are still required for review and approval of any substitutions.
10. The bidders shall include the Listing of General and Subcontractors as part of their enclosed bid. Be sure that the form is filled in properly so that all required subcontractors are listed to complete all work for this contract and that all work is accounted for to complete the scope of work. Where the prime contractor is performing the work, prime's company name must be listed so that all work can be accounted for.
11. During the construction of this project, there will be a very limited amount of parking stalls that would be available for contractor use. Possibly, the (4) visitor parking stalls outside of the building would be available for contractor use.
12. However, Lisa Izumi also notified the contractors that they would not be able to utilize the HPHA parking lot across the street, since there will be a paving project that will be going on at the same time as this project. Therefore, if no parking will be available for contractor use, the contractor will have to use off-street parking.
13. The Contractor will be able to use one of the elevators during specific hours of the day. However, the contractor shall coordinate the elevator usage with Patrick Shimabukuro, Hale Po'ai Building Manager. The contractor shall not use the elevators prior to approval from the Building Manager.
14. The Contractor shall coordinate any access to individual apartment units with Patrick Shimabukuro, Hale Po'ai Building Manager. The contractor shall not enter any individual apartment units prior to approval from the Building Manager.

Hale Po'ai Building Improvements

HPHA Job No. 07-031-401-S

Pre-Bid Site Inspection Meeting

Meeting minutes

Continued, Page 3

15. After a bidder has been awarded the contract for this project, the Contractor should not start any work until the written contract agreement has been executed by the HPHA. There are to be no field change orders. All changes must have prior approval in writing by the HPHA's Contracts and Procurement Office. Proceeding without prior written authorization may jeopardize payment for such work.
16. Site Inspection Walk through of Hale Po'ai. All attending contractors were given the opportunity to visit the parking level, courtyard level, seventh floor level, the roof of the Makai Building, the elevator machine room, and the interior of a typical one-bedroom apartment unit.
17. During the painting of the exterior walls of the building, the Contractor shall protect the grass, landscaping and existing community garden, as much as possible, from damage as a result from construction.
18. During the replacement of the hot water system, the Contractor shall minimize the hot water service interruption by keeping the existing heat pumps running when replacing the electric water heater.
19. The existing fire alarm control panel is to be re-used. All fire alarm devices shall be compatible with existing fire alarm control panel.
20. A new exterior ladder shall be provided to access the rooftop of Stair Tower 'B'.
21. A new interior ladder and roof hatch shall be provided to access the rooftop of the Elevator Tower. Ladder access shall begin in the Mechanical Room below the Elevator Machine Room.
22. Questions/Clarifications from contractors:
 - a. Will the Contractor be able to work on the Fridays that the HPHA offices will be closed for State furlough days?

Yes, the Contractor will be able to work on Furlough Fridays, however, the Contractor shall take into account that the HPHA will not be able to perform any inspections on those Fridays.

Hale Po'ai Building Improvements
HPHA Job No. 07-031-401-S
Pre-Bid Site Inspection Meeting
Meeting minutes
Continued, Page 4

- b. Will the bidders be able to visit the site on their own other than at this pre-bid site inspection meeting? *Yes, the bidders shall arrange for an appointment by contacting Lisa Izumi in order to visit the site.*

- c. Will the Contractor be able to utilize the grassed area fronting School Street as an additional staging area in order to provide a trash chute to perform the demolition of the existing roof of the Mauka Building?

Yes, the Contractor will be able to utilize a portion of the grassed area fronting School Street to provide a trash chute from the ground to the rooftop of the Mauka Building during the demolition of the existing roofing. The location of the trash chute shall be determined by the HPHA Project Engineer.

- d. Will the Contractor be allowed to shutdown the sewer service to the entire building?

Yes, the Contractor will be allowed to shutdown the sewer service to the entire building for a maximum 3-hour duration. However, the Contractor shall minimize the sewer service interruptions to the building. Whenever possible, the Contractor shall shut down one sewer riser at a time. No sewer interruption shall be allowed between 6:00 pm to 8:00 am the following day.

- e. Is painting considered part of the scope of work for this project?

Yes, all previously painted exterior surface of all floor levels of Hale Po'ai shall be repainted. Do not paint any pre-finished items, such as aluminum framing for windows and storefronts. Within the individual apartment units, portions of the previously painted interior surfaces shall be repainted, when affected by the electrical scope of work within the apartment units. The previously painted interior surfaces of the Elevator Lobby at the Parking Level shall be repainted.

- f. What is the extent of the limits for new traffic coating?

New traffic coating shall be limited to all exterior concrete floor surfaces of the First Floor Level and also a portion of the exterior concrete floor surface at the Elevator Lobby Area of the Second Floor to the Seventh Floor.

Hale Po'ai Building Improvements
HPHA Job No. 07-031-401-S
Pre-Bid Site Inspection Meeting
Meeting minutes
Continued, Page 5

- g. Will spray painting be allowed on this project?

No, refer to Technical Specifications, Section 09901, Paragraph 3.03B.

The Pre-Bid Site Inspection meeting was then closed.